



Date:	Wednesday, May 10, 2023
From:	Denise McCarl, MSc RPP MCIP, Manager, Planning Services
Subject	Site Plan Application SP10-21
Report No. SPA2023-02	Roll No. 421049200122200

Recommendation

That the Director of Development Services Approve Site Plan Application File No. SP10-21 for the construction of an apartment building at 1 Legion Road, subject to the conditions attached as Appendix I to report SPA2023-02.

Executive Summary

The applicant has requested site plan approval for a 150 dwelling apartment building at 1 Legion Road.

The irregularly shaped subject property is approximately 5,753 m² in area with approximately 115 m of frontage on Legion Road. The site is designated Urban Living Area in the Municipality of Meaford Official Plan and zoned Residential Multiple-Exception-Holding (RM-190(H5)).

The Municipality has reviewed the application against provincial policy, County and Municipal Official Plans, the Zoning By-law, and included cross-departmental and outside agency input.

Staff find that the site plan application substantially satisfies the policy framework and conditions have been recommended to ensure the final detailed design and the site plan agreement will uphold the intent of previous Council decisions and the policy framework.

When appropriate, a report(s) to Council will be prepared to address the execution of the Section 37 Agreement and Holding provision removal.

Background

Subject Lands

The subject lands are located on the north side of Legion Road, one lot east of Owen Street. The irregularly shaped site is approximately 5,753 m² (1.4 ac) in area with approximately 115m of frontage on Legion Road. The property formerly comprised the location of Royal Canadian Legion Branch 32 (demolished) as well as portions of the former Berry Street road allowance consisting of a vegetated slope along the north edge of the property. From the bottom of the slope south the topography of the property is generally flat with a tendency to slope towards Legion Road.

The subject lands are designated and zoned as follows:

- County of Grey Official Plan: “Primary Settlement Area” with “Intake Protection Zone 3” and “Events Based Area” as additional constraint layers. A ‘previously identified landfill site’ on the subject property has been deemed not to require any further review or assessment.
- Municipality of Meaford Official Plan: “Urban Living Area”
- Municipality of Meaford Zoning By-law: “Residential Multiple-Exception-Holding (RM-190(H5))”



Figure 1: 2015 Air Photo (Grey County)



Figure 2: Excerpt of Landscape Plan submitted by applicant (dated 28/11/22)

Background – Previous Planning Act Applications

In 2021, following the stipulated Planning Act and public process, [Zoning By-law Amendment 2021-71](#) was passed to establish application specific site and building regulations for 150 dwelling units within a five (5) storey, 16.57m high apartment building including two levels of underground parking to be developed on the lands. That By-law included site-specific exceptions,

placed a holding provision on the lands, required a Section 37 agreement relating to bonussing, and applied site-specific standards to mitigate the impact of the exceptions needed by the design.

That process and the context for the site-specific zoning are described in report [DEV2021-34](#) which was considered by Council on October 18, 2021. As noted in the minutes of that meeting the site-specific zoning amendment [2021-71](#) was passed and Council resolved to accept \$300,000 as contribution to Legion Park to address the bonussing requirements of the Official Plan pursuant to Section 37 of the Planning Act (<https://meaford.civicweb.net/document/124380/>).

Site Plan Approval and removal of the Holding provision were the anticipated next steps towards development of the subject proposal.

This report considers the merits of the Site Plan Application within the framework of existing policy and legislation, input from other departments agencies, and committees, as well as Zoning By-law Amendment 2021-71.

Description of the Site Plan

The purpose of the site plan control application is to fulfill the terms of the Holding Provision and to establish and secure (by registered agreement) the layout and conditions of approval relating to the proposed apartment building, access and parking, and provision of services to the site.

It is recommended that the Site Plan Agreement will include off-site works on the municipal road allowance to ensure orderly development of all infrastructure necessary to service the site.

The detailed site plan (SP-1A, 25/11/22 revision) being considered by this report includes:

- Apartment building containing 150 dwelling units with east and west wings separated by a driveway at grade and attached above. Main building entrances to each wing at grade are under the covered portion. Two levels of underground parking have a larger 'footprint' than the floors above grade.
- 5 storey building at 16.57 m in height
- Inset balconies
- A surface level driveway which forms an inverted 'C' shape providing access to the rear of the building and dividing the residential wings through the ground floor.
- Bike rack located on a hard surface area raised and protected from the driveway by barrier curb with walkway to the building entrance (across the driveway from the barrier free parking).

- On-site fire hydrant near the bike rack
- 225 parking spaces
 - o 8 surface stalls including 7 barrier free (6 barrier free stalls behind the building and 1 barrier free and 1 standard size stall at the easterly edge of the property).
 - o 217 underground spaces divided between two levels (113 and 104 respectively).
- Protective weather cover proposed for all barrier free spaces (2 separate structures).
- Privacy fencing along the east and west lot lines to screen parking and drive aisles (location differs between plans)
- Chain link fencing along the remaining lot line sections
- Variety of planting beds along the front lot line and west side of the building
- Outdoor amenity area for residents at the toe of slope near barrier free parking to include a seating area and fire pit.
- Sidewalk along the front of the building will provide connectivity between the easterly parking area and the main building entrances.

At this time it is understood that the applicant intends to create a condominium which would require approval by the County of Grey. Condominium, life lease, or rental apartments are subject to the same municipal policies and zone standards for development.

Appendix 2 includes a selection of the plans submitted.

Analysis

Conformity of the use with the Provincial Policy Statement, County of Grey Official Plan, and Municipality of Meaford Official Plan have been substantially addressed through the earlier Zoning By-law Amendment which places the lands in a site-specific zone subject to (H5) Holding provisions.

Zoning Compliance

Staff have undertaken a detailed review of the site plan and other submission documents with regard to the site-specific zoning as well as any general provisions of the comprehensive zoning by-law which apply to the proposal.

Details of this review can be found in the Zoning Conformity Review Table in the SP10-21 file and will be provided to the applicant.

As detailed design has continued to evolve over several submissions, the latest plan include new structures and details (although not all have been

dimensioned). Conditions are recommended requiring additional details and coordination between plans to ensure compliance with respect to building design details, such as:

- Ventilation shafts
- Weather protective cover structures (over certain surface parking stalls)
- Setback from toe of slope
- Above and below grade structures being located on site and conforming with all applicable setbacks
- Privacy fencing locations

Prior to execution of any Site Plan Agreement the plans shall be revised to address the recommended conditions and demonstrate compliance with zoning. The holding provision is considered separately below.

Matters of Site Plan Control

Review of the Site Plan Application was undertaken in accordance with Section 41 of the Planning Act as well as the provisions of the Official Plan.

Certain changes to the Planning Act since the time of the site-specific zoning amendment warrant noting:

- On April 14, 2022 the Province of Ontario gave Royal Assent to Bill 109 (More Homes for Everyone Act) which among other matters, amended Section 41 of the Planning Act to require municipal authorities to delegate site plan approval.

Municipality of Meaford Council considered a report [DEV2022-09](#) and subsequently passed By-law [2022-42](#) to delegate approval of site plan applications to the Director of Development Services.

- On November 28, 2022 the Province of Ontario gave Royal Assent to Bill 23 (More Homes Built Faster Act) which among other matters, amended Section 41 of the Planning Act to scope matters that can be regulated by Site Plan Control. Notable changes include the exclusion of exterior design of buildings from site plan approval.

As the site plan approval application for the subject lands was deemed complete after this Bill was passed, staff understand that the scoped matters apply to the subject application.

Bill 23 also considered the role of conservation authorities in development application review. As the subject lands include both a hazardous slope and areas regulated by O.Reg. 151/06, the Grey Sauble Conservation Authority will continue to comment and be a permitting authority for the development of the lands.

Appendix 1 to this report are the recommended conditions of approval. These conditions have been drafted to address outstanding items that must be addressed prior final approval and are based on staff and agencies recommendations. Some of these conditions can be included in the Site Plan Agreement. are the

Agreements

Once the Director of Development Services approves a site plan application, the Mayor and Clerk may execute the associated site plan agreement. Council is responsible for authorizing a Section 37 Agreement.

In order to complete the development at 1 Legion Road the following agreements will be required:

1) Site Plan & Servicing Agreement:

The intent of a site plan agreement is to ensure that any proposed development is appropriately designed, serviced and accessed and otherwise in conformity with the goals and strategic objectives of the Official Plan.

To address off-site infrastructure design and construction necessary to appropriately service the subject lands, the Site Plan Agreement will incorporate servicing agreement clauses and schedules for off-site works.

Securities based on cost estimates to be provided by the applicant will be required as part of the agreement to ensure works are completed to the satisfaction of the Municipality.

The details of the agreement and securities shall be finalized, once required conditions have been satisfied or incorporated into the agreement. The owner may then sign the agreement and post all financial and insurance obligations required.

The Site Plan Agreement, with servicing considerations, is required prior to the removal of the holding provision.

2) Section 37 Agreement

Through previous resolutions Council has accepted in-principal, a Section 37 agreement with contribution towards Phase 1 of the Legion Park Development.

Execution of the Section 37 Agreement is necessary to satisfy the holding provision towards development of the lands. The details of the agreement shall be brought to Council with the requisite by-law for consideration once the owner has signed the agreement and paid the financial contribution.

Holding Provision

The (H5) Holding provision must be removed prior to any new use being established on the lands.

In accordance with section 2.6.2.5 of Zoning By-law 60-2009:

The Holding (H5) provision applying to lands zoned for development where agreements remain outstanding may be lifted once Council is satisfied that an appropriate subdivision agreement, condominium agreement, site plan agreement and/or any other appropriate development agreement is executed.

Site Specific By-law 2021-71 includes stipulations that the holding shall not be removed in whole or in part until specified matters have been completed.

The following table outlines these together with a summary description of their status at the time of writing this report:

9.190.5 a) ... in addition to the requirements of section 2.6.2.5, the Holding (H5) symbol shall not be removed from the whole or part of the lands until such time as the following have been completed:	Status Summary**:
i. Detailed design, including but not limited to building plans, grading and site alteration, vegetation and tree removal, shall be reviewed to the satisfaction of a qualified geotechnical engineer and any recommendations from the geotechnical engineer shall be incorporated into the site plan agreement;	The applicant has provided a Summary and Comments letter by CMT Engineering dated December 13, 2022 together with Appendices A-D confirming review of specified plans. However, revision to a number of documents is recommended and as such additional review by CMT may be required. Site Plan Agreement recommended clauses include that the owner is responsible to:

	i) carry out the recommendations of CMT Engineering; ii) ensure observation of the shoring system during construction; iii) conduct building conditions surveys for all structures within the dewatering region of influence iv) provide a dewatering monitoring plan and demonstrate implementation throughout construction
ii. Execution of a Development Agreement that addresses: a. Matters of Site Plan Approval; b. Servicing installation, design, capacity and allocation; c. Payment of securities (landscape and civil);	A site plan agreement can address all of these matters once final approval is granted to the detailed design. At this time revisions to the plans are required as described throughout this report therefore insufficient details are available to finalize a site plan agreement with reference to approved plans and adequate securities.
iii. Satisfaction of the Environmental Protection Act regarding change of use which may include a Record of Site Condition.	A Record of Site Condition has been filed with MECP. It can be found online at the link below*
iv. Completion of a comprehensive servicing analysis as outlined in Part D of the Official Plan and the execution of a Servicing Agreement to address the design, allocation, construction, timing and financing, and approvals necessary to provide municipal water and sanitary sewage services to the subject lands; and,	The applicant has provided a Functional Servicing Brief by S. Llewellyn & Associates dated November 2022 together with detailed drawings and cost estimates. The municipal solicitor will incorporate matters of Servicing Agreement into the Site Plan Agreement satisfying the intent of this provision, however insufficient details are available to finalize that agreement at this time. Review of submitted documents finds that the watermain which needs to be extended in order to service the site also needs to be upsized and looped (connected between Cook and Owen) in order to provide adequate fire flows. A recommended condition of site plan approval includes that the report be revised to respond to comments provided and recommendations

	implemented at no cost to the municipality with securities held to ensure the work is completed.
v. Execution of an Agreement approved by Council in accordance with Section 37 of the Planning Act (in effect on September 17, 2020) that addresses those matters set out in Section 9.190.4.	The municipal solicitor is reviewing the draft agreement. The holding provision should not be removed until the Section 37 agreement is signed and registered on title and the financial contribution paid.

* <https://www.lrcsde.lrc.gov.on.ca/BFISWebPublic/pub/viewDetail?submissionId=230932>

** The Status Summary included here is a summary, see Appendix 1 for all recommended conditions.

Conclusion

Site plan approval has been delegated to the Director of Development Services since summer 2022, while Holding removal remains a Council decision.

This delegated authority allows a report to consider conditional site plan approval ahead of recommendation on the holding provision.

Staff find that the site plan application substantially satisfies the policy framework and conditions have been recommended to ensure the final detailed design and the site plan agreement will uphold the intent of previous Council decisions and the policy framework.

- Staff recommend that the site plan be approved subject to conditions attached to this report in Appendix I. Some of the conditions include:, That Final Approved for Construction drawings are accepted by the Municipality
- That the final Site Plan demonstrates zoning compliance

Off-site servicing shall be addressed to the extent that design and securities can be incorporated into a site plan agreement which would act as a joint site plan and servicing agreement. The two next steps that have not yet been completed are the execution of the Section 37 agreement and the Holding Removal. Once the agreements are executed, Council will be able to remove the Holding Provision.

Financial Impact

No adverse financial impacts are anticipated on the Municipality with the recommendations herein.

Strategic Priorities

This report supports the mission, vision and values of the Municipality of Meaford, as well as the goals and objectives set out in Council's Strategic Priorities, particularly with respect to:

- Ensuring Sustainability
- Growing our Economy

Community Well-Being

Community well-being is supported by the Official Plan vision to provide the basis for managing growth that will support and emphasize the Municipality's unique character, diversity, civic identity, rural lifestyle and heritage features and to do so in a way that has the greatest positive impact on the quality of life and overall health, welfare & general well-being of residents in Meaford.

The policies of the Official Plan implement that vision. The concept of development of these lands has already been established by inclusion in the urban area and the site specific zoning by-law amendment.

Implementing the approved policy framework supports community well-being.

Consultation and Communications

Site Plan Approval Applications are not open to public consultation. Only the applicant may appeal the decision or lack of decision made by the municipality.

The Site Plan application and supporting documentation has undergone multiple reviews by external agencies and Municipal departments and agents working on behalf of the Municipality.

A complete list of documents submitted in January 2023 are on file with the Planning Division.

Appendix I is a consolidation of recommendations for conditions as they apply to the latest submission, based on feedback received from consultation with staff and agencies.

Supporting Documentation

Appendix 1 - Recommended Site Plan Conditions

Appendix 2 - Site Plan Drawings (SP-1A), Parking Level 1 (A1-02), Elevation (A3-01), Landscape Plan (LP-1), Servicing Plan (C102)

Respectfully Submitted:

original signed

Denise McCarl, MSc MCIP RPP
Manager, Planning Services

Prepared with:
Margaret Potter, Senior Planner

On behalf of the Municipality of Meaford, I have the authority to approve Site Plan Control Application submitted under s.41 of the Planning Act

Site Plan Approved By:

original signed

Robert Voigt, MCIP, RPP
Director of Development Services

Conditions of Site Plan Approval – 1 Legion Road – SP10-21

GENERAL

- 1) Removal of the holding provision shall not occur until such time as a site plan agreement has been executed by both the owner of the lands and Municipality of Meaford and all related securities posted for both on and off-site works.
- 2) Revised construction cost estimates shall be submitted by the owner which reflect final design and current pricing to the satisfaction of the Municipality of Meaford and shall be structured to differentiate between on-site and off-site works for:
 - a) Civil Engineering works
 - b) All off-site construction costs including:
 - i) Removals and restoration
 - ii) contingency
 - iii) engineering costs
 - iv) full-time inspection
 - v) contract administration
 - c) Landscaping
- 3) The owner acknowledges and agrees that there shall be no grading/site works permitted until:
 - a) Written authorization has been provided to the Municipality from the registered owner(s) on title for all trees proposed to be removed from the property line and / or adjacent lands
 - b) Written authorization/acknowledgement has been received by the Municipality from the registered owner(s) on title for all trees having a dripline extending past the tree preservation fence on the development site.
 - c) That to the satisfaction of the CBO a fire department connection for a standpipe system has been located such that:
 - i) the distance from the connection to a hydrant is not more than 45 m
 - ii) it is unobstructed
 - iii) hydrants are located within 90 m horizontally of any portion of a building perimeter that is required to face a street.

PLANS AND STUDIES

- 4) Finalization of any Site Plan Agreement and Servicing Agreement, shall require modification of the site plan submission package to address the following to the satisfaction of the Municipality of Meaford (Director of Development Services):
 - a) Plans shall be dimensioned, labeled, and include notation that reflects the site-specific zoning and indicates that no building, building element, building equipment, or structures shall be located closer than any minimum required setback.
 - b) The smallest setback from the toe (bottom) of slope shall be dimensioned on every plan.
 - c) A note(s) shall be added that reflects the site-specific zoning and indicates that no building, building element, equipment, or structure shall be located closer than the toe/bottom of existing slope.
 - d) Privacy fencing locations shall be coordinated on all plans and shall provide adequate screening as required by the zoning by-law.
 - e) That the Stormwater Management report and related plans be updated to reflect the final design for construction and submitted to the Municipality for review and approval.
 - f) The Functional Servicing Report shall be revised and shall include, but not be limited to:
 - i) Recognition that the development includes two (2) levels of underground parking in the introduction section
 - ii) Including and integrating all appropriate references and details of the final detailed design for construction
 - iii) Fire flow testing with water modelling
 - iv) Responses to all outstanding Municipal review comments.
 - g) The 'Loading Area' labels shall be removed from all of the plans as the identified location is not required by zoning and not sized to meet standard loading stall dimensions. The area should be hatched if not curbed and grassed to prevent parking
 - h) The final design for construction shall provide pedestrian connections from easterly barrier free parking stall to a sidewalk on the east side of the easterly driveway and provide barrier free crossing of the driveway;
 - i) The final detailed design provide for the concrete curb proposed from the westerly driveway to the westerly lot line to be continued north to meet the existing concrete curb at the edge of the road allowance on the east side of the neighbouring driveway and designed in accordance with OPSD standards including OPSD 350.010.
 - j) Grading Notes on plan C104 or any successor thereto, shall be changed to state slopes are "Max. 3H to 1V".

- k) Detailed design of all retaining walls shall be provided which shall comply with zoning.
- l) Landscape Plans shall be revised to include the restoration of the Municipal boulevard across the entire frontage of the site with the design and construction executed to the satisfaction of the Municipality.
- m) The landscape plans shall indicate all plant species, including boulevard tree species, and the design shall be to the satisfaction of the Municipality.
- n) Detailed design drawings and cost estimates for securities for all external works shall be submitted for review and approval to the satisfaction of the Municipality prior to the finalization of any site plan agreement..
- o) The Owner shall provide appropriate documentation detailing site dewatering required and dewatering plan, permit requirements (i.e. EASR or PTTW); and associated risk management plan to the satisfaction of the Municipality.
- p) The note regarding O. Reg. 406/19 that is included on the site plan shall also be added to the engineering drawings.
- q) The owner shall submit a Photometric Plan that reflects the final design for construction and conforms with the requirement that lighting is downward directed, and not cast light onto other properties by demonstrating 0.0 lumens at side and rear property lines.
- r) The final watermain design, installation and replacement shall include a looping system and be completed to the satisfaction of the Municipality.
- s) The owner shall submit a Composite Utility Plan that reflects the final design for construction.
- t) The Owner shall ensure that all plans and drawings are signed and sealed by qualified professionals and reflect a complete and consistent design to the satisfaction of the Municipality.
- u) The owner shall provide all necessary documents, designs, and cost estimates for completion of agreements and determination of required securities to the satisfaction of the Municipality.

AGREEMENT

- 5) That the Owner enter into a Site Plan Agreement and Servicing Agreement with the Municipality of Meaford, which will be registered on title, requiring among other matters:
 - a) A two-year timeframe for the completion of all works with the final dates to be specified in the agreement.
 - b) Schedules to the Site Plan Agreement and Servicing Agreement shall include but not be limited to:
 - i) The oil/grit separator maintenance manual
 - ii) Stormwater Management Report

- iii) Functional Servicing Report or Brief.
- c) That the Owner shall be responsible to undertake regular maintenance of the oil/grit separator and the storm water management system in accordance with the maintenance manual and the storm water management plan at the sole expense of the Owner.
- d) That the Owner shall be responsible to regularly inspect and maintain any and all sediment control measures at their sole expense.
- e) That the Owner shall be responsible to implement and maintain the design and recommendations of the approved plans and studies at the sole expense of the Owner.
- f) That the owner is solely responsible for coordination with all utility providers and to ensure satisfactory location of all utilities including any removal, relocation or new installation at their sole risk and cost.
- g) Provision of appropriate securities for both on and off-site works to the satisfaction of the Municipality of Meaford, including but not limited to:
 - i) At minimum, 100% of the cost of off-site works
 - ii) Landscaping both on site and within the boulevard.
- h) The Owner shall be responsible for the long-term maintenance of the boulevard across the entire frontage of the site at no cost to the Municipality.
- i) Provision of parkland dedication as per s.42(2.1)(a) of the Planning Act based on an appraisal of the land submitted by the applicant.
- j) With respect to the geotechnical review, hydrogeological and dewatering requirements:
 - i) Dewatering discharge shall meet the requirements of the Municipality's sewer by-law.
 - ii) The Owner acknowledges and agrees that the Owner may be required to flush the storm sewers at the Municipality's sole discretion and at the expense of the Owner.
 - iii) That the Owner is responsible for carrying out the recommendations of CMT Engineering Inc. in their December 13, 2022 Summary and Comments document, or approved successor including all attachments, and ensuring that a qualified geotechnical engineer reviews any changes to the detailed design for the site.
 - iv) That the Owner shall obtain applicable permits required from the GSCA for work within the area regulated by O.Reg.151/06 including but not limited to any dewatering discharge into the natural environment.
- k) For the external upgrades within the Municipality's right-of-way, the owner shall assume the role and responsibilities of Project Leader as it relates to O. Reg. 406/19.

- l) The owner acknowledges that based on changes resulting from the final design for construction, additional conditions may be included for both on and off-site works to the satisfaction of the Municipality.

OTHER

- 6) That the Site Plan Agreement and Servicing Agreement not be executed by the Municipality of Meaford until such time as:
 - a) Compliance with Zoning By-law 60-2009 and By-law 2021-71 has been demonstrated, including but not limited to:
 - i) The Owner has signed a Section 37 Agreement and provided the related \$300,000 CAD contribution in a form acceptable to the Treasurer of the Municipality of Meaford;
 - ii) Council has resolved to remove the Holding Provision from the lands;
 - iii) The Director of Development Services is satisfied that there are no outstanding invoices attributable to the municipal site plan review process and all fees and securities have been paid (including but not limited to parkland dedication and agreement registration).

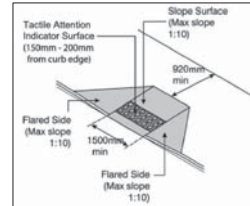
Appendix 2 - PLANS

SITE PLAN INFORMATION TAKEN FROM:

PLAN OF SURVEY OF
PART OF LOT 1242 AND PART OF BERRY STREET
BEING PARTS 9 AND 10 PLAN 16R-10850
REGISTERED PLAN 309
GEOGRAPHIC TOWNSHIP OF MEAFORD
MUNICIPALITY OF MEAFORD

SCALE 1 : 300

RODNEY G. REYNOLDS
ONTARIO LAND SURVEYOR
DATED: MARCH 07, 2017



2 TYP. CURB RAMP DETAIL
SP-1 N.T.S.

SITE STATISTICS - "Meaford"										
	S.M2	SQ. FEET	ACRES	%	P2	P1	L2	L3	L4	L5
GROSS COMBINED LOT AREAS	8,765.743	92,062.	1.944	100.0%						
LANDSCAPE AREA	1,509.48	16,248	0.37	26.1%						
ASPHALT / TRAFFIC TOPPING AREA	1,259.91	13,562	0.31	21.9%						
BIKE (COURDS AND WALKWAYS)	306.56	3,298	0.01	5.5%						
FIRST FLOOR	2,656.30	27,000								
SECOND FLOOR	2,528.24	27,192								
THIRD FLOOR (LOT COVERAGE)	2,699.52	28,814								
FOURTH FLOOR	2,699.52	28,914								
FIFTH FLOOR	2,699.52	29,014								
TOTAL = GFA	13,111.10	141,206								

VEHICLE PARKING			
NUMBER OF UNITS	150		
VEHICLE PARKING SPACES	REQUIRED	PROVIDED	COMPLIANT
REQUIRED PARKING SPACES PER UNIT	1.5	1.5	YES
TOTAL PARKING REQUIRED & PROVIDED	225	225	YES
PARKING SURPLUS		0	YES

ACCESSIBLE PARKING & LOADING Section 5.12 & 5.13				
	REQUIRED	PROVIDED		COMPLIANCE
ACCESSIBLE PARKING	7	7		YES
LOADING (RESIDENTIAL USE)	0	0		YES

ZONING INFORMATION - ZONING BY-LAW				
No.60-2009 (AS AMENDED)				
Town of Meaford (File Number 2021-7)				
	PROPOSED USE	REQUIRED PERMITTED	PROPOSED	COMPLIES
CONCERNING ADJUSTMENTS				
1. USE CLASS - ZONE DESIGNATION	R1S	YES		YES
2. MIN. LOTS - MIN. SIZES	0.00	0.00	2,825.743	YES
3. MIN. LOT COVERAGE	0.00	0.00	115.46	YES
4. MIN. FRONT YARD SETBACK (FT/MS)	0.00	0.00	15.00	YES
5. MIN. INTERIOR SIDE YARD SETBACK (FT/MS)	0.00	0.00	15.00	YES
6. MIN. REAR YARD SETBACK (FT/MS)	0.00	0.00	15.00	YES
7. MIN. REAR YARD	16.97	16.97		YES
8. MAX. NUMBER OF STOREYS	5	5		YES
9. MAX. LOT COVERAGE	50.00	40.00	0.00	YES
TO MIN. SETBACK FROM ADJ. (MINIMUM) (30.00) FROM SIDE (30.00) FROM REAR (30.00)				
10. MIN. FRONT SETBACK	15.00	15.00	0.00	YES
CONCERNING ADJUSTMENTS				
1. PARKING SLOT ORIENTATION	271.54			COMPLIES
2. PARALLEL PARKING, SLANT PARKING	271.54			COMPLIES
3. ACCESSIBLE PARKING STALLS (A & B)	3,568.8 & 3,568.8			COMPLIES
4. SOURCE LONGEST DRIVE (S) - 100 YDS	100			COMPLIES
5. MIN. VERTICAL CLEARANCE (PARKING SPACES)	13.0			YES
6. SOURCE LOTTERY NUMBER (S) - 100 YDS	100			YES

NOTES:
1: MEASURED FROM THE GRADE ELEVATION OF THE CENTERLINE OF LEGION ROAD;
2: THE CLEAR HEIGHT BELOW THE 2ND FLOOR OVERHANGING OVER THE FIRE ACCESS ROUTE SHALL BE MINIMUM 5.0

TRAFFIC LEGEND

- | | |
|----|--|
| 1 | MEDIAN LINE: SOLID YELLOW LINE CONTINUOUS FROM BOTTOM OF ROAD TO STOP BAR OR OTM STANDARDS (BOOK 11 PAVEMENT, HAZARD DELINEATION MARKINGS) |
| 2 | STOP BAR: SOLID WHITE LINE 0.3m EDGE OF FIVE FOOT, PARALLEL TO DRIVE AISLE PER OTM STANDARDS (BOOK 11 PAVEMENT, HAZARD AND DELINEATION MARKINGS) |
| 3 | STOP SIGN ANGLED TOWARDS VEHICLE EXITING RAMP PER OTM STANDARDS (BOOK 11 PAVEMENT, HAZARD AND DELINEATION MARKINGS) |
| 4 | "STOP" MARKING: SOLID WHITE MARKINGS PER OTM STANDARDS (BOOK 11 PAVEMENT, HAZARD AND DELINEATION MARKINGS) |
| 5 | DENOTES BARRIER FREE PARKING SIGN |
| 6 | DENOTES 600mm WIDE TACTILE WALKING INDICATORS |
| 7 | DENOTES DECORATIVE CEMENT 1070mm HIGH DIBAFF WALL. SEE LANDSCAPE DRAWINGS |
| 8 | EXTERIOR WALL FACE LINE OF 1ST UNDERGROUND LEVEL |
| 9 | EXTERIOR WALL FACE LINE OF 2ND UNDERGROUND LEVEL |
| 10 | EXTERIOR WALL FACE LINE OF 1ST FLOOR |
| 11 | EXTERIOR WALL FACE LINE OF 2ND FLOOR |
| 12 | EXTERIOR WALL FACE LINE OF 3RD FLOOR |
| 13 | EXTERIOR WALL FACE LINE OF 4TH FLOOR |
| 14 | EXTERIOR WALL FACE LINE OF 4TH FLOOR |
| 15 | PRIVACY FENCE |
| 16 | CHAIN LINK FENCE |
| 17 | RETAINING WALL |
| 18 | WEATHER PROTECTIVE COVER WITH 3.0m CLEAR HEADROOM BELOW |
| 19 | CURB STOP (TYP.) |

NOTE:

IF EXCESS SOILS ARE REMOVED FROM SITE, THE WORKS SHALL BE COMPLETED IN ACCORDANCE WITH ONTARIO REGULATION 406/19".

DRAWING NOTES

THIS DRAWING IS THE PROPERTY OF ANDREW SHERMAN, ARCHITECT, 1000 UNIVERSITY AVENUE, SUITE 100, OAKLAND, CALIFORNIA 94612. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED BY THE LEGISLATION UNDER THE ARCHITECTS ACT OF OAKLAND AND THE ARCHITECTS ACT OF SAN FRANCISCO. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE PRIOR WRITTEN APPROVAL OF ANDREW SHERMAN, ARCHITECT.

1.  DETAILED DRAWING DIAGRAM DRAWING NUMBER

2.  DETAILS ARE CROSS REFERENCED BY THE ABOVE SYMBOL.

3. DRAWINGS ARE NOT TO SCALE. TOLERANCES MAY BE EXCEEDED. CONTRACTOR IS TO BE REFERRED TO EXISTING BUILDING OR SITE CONDITIONS.

4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURING THE WORKING AT LEAST ONE WEEK BEFORE SITE CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS. CHANGES TO THE WORK INVOLVING SUCH CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURING THE WORKING AT LEAST ONE WEEK BEFORE SITE CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS. CHANGES TO THE WORK INVOLVING SUCH CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURING THE WORKING AT LEAST ONE WEEK BEFORE SITE CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS. CHANGES TO THE WORK INVOLVING SUCH CONDITIONS, CONSTRUCTION, EXISTING UTILITIES, AND EXISTING MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

5. ANY CONSTRUCTION DETAIL, CHANGE, SUBSTITUTIONS OF MATERIALS, OR OTHER CHANGES TO THE DRAWING SHALL BE INDICATED BY THE CONTRACTOR AND NOTED BY THE ARCHITECT UNDER ANY CIRCUMSTANCE.

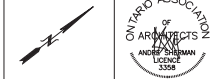
6. READ ALL DRAWINGS IN CONNECTION WITH THE GENERAL NOTES AND SPECIFICATIONS.

7. REVISIONS TO ALL UNCORRECTED DISCREPANCIES OR CHANGES REQUESTED BY THE ARCHITECTS DRAWING CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE ARCHITECT, MANUFACTURER, OR INSTALLATION. ANY CHANGES SHALL BE MADE BY THE ARCHITECT, OR TO CONSTRUCTION (OR OTHER CONSULTANT) AS DIRECTED BY THE ARCHITECT.

Architect of Record:



GEOGRAPHIC ORIENTATION:	Seal: 
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Revisions:

No:	Date:	Rev:
1	21/07/20	FOR CLIENT REVIEW
2	22/07/20	FOR CLIENT REVIEW
3	22/07/20	FOR CLIENT REVIEW
4	10/08/20	FOR CLIENT REVIEW
5	25/09/20	FOR SITE PLAN APPROVAL
6	14/04/21	FOR SITE PLAN APPROVAL
7	22/07/21	FOR REVIEW
8	26/04/21	FOR REVIEW
9	27/04/21	FOR REVIEW
10	27/04/21	FOR ZONING AMENDMENT
11	02/05/21	FOR ZONING AMENDMENT
12	07/06/21	FOR SITE PLAN APPROVAL
13	07/06/21	REMOVED FROM LINE AND FFE
14	24/06/21	REVISED TOPO UNDERLAY
15	24/07/21	REVISED SITE STATISTICS
16	02/08/21	REVISED SITE STATISTICS
17	14/08/21	ADDED R/F LANKING AT ENTRANCE
18	20/12/21	REV SURVEY UNDERLAY-SSEE FOR SPA
19	20/01/22	REV FOR CO-ORD FOR SPA
20	20/01/22	REV FOR CO-ORD FOR SPA
21	04/02/22	REV FOR CO-ORD FOR SPA
22	12/07/22	REV FOR CO-ORD FOR SPA
23	12/07/22	REV FOR CO-ORD FOR SPA
24	25/11/22	REV FOR CO-ORD FOR SPA

Project Name:

GEORGIAN BAY
TERRACE

1 LEGION ROAD, MEAFORD, ON.

Drawing Title:
SITE PLAN (with no grade
elevations and removals)

SCALE: AS INDICATED	DATE: 10/06/20
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DRAWN BY: AC	CHECKED BY:
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(FARMS) NO. **SD 1A**

	$\sigma = 17\%$
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LEGEND

○ DENOTES PLANTED	○ DENOTES FOUND
SIB - DENOTES STANDARD IRON BAR	
IB - DENOTES IRON BAR	
IR# - DENOTES ROUND IRON BAR	

(823) - IDENTIFIES I.C. DINSMORE, O.L.S.
(1063) - IDENTIFIES R.W. MACKAY, O.L.S.
(188M) - IDENTIFIES HEWETT & MILNE LTD.
(240M) - IDENTIFIES ZUBEK EMO PATTEN AND THOMSEN LTD
() - DENOTES ZUBEK EMO
(P1,N) - DENOTES PROPERTY IDENTIFICATION NUMBER
(P1) - DENOTES PLAN OF SURVEY BY ZUBEK AND EMO
DATED MAY 13, 1970.
(P2) - DENOTES PLAN OF SURVEY BY IVAN DINSMORE
DATED DECEMBER 8, 1955.
(WT.) - DENOTES WITNESS
(OU) - DENOTES ORIGIN UNKNOWN
(PROP.) - DENOTES PROPORTION

BEARING NOTE

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS ORP A AND ORP B BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (1997).

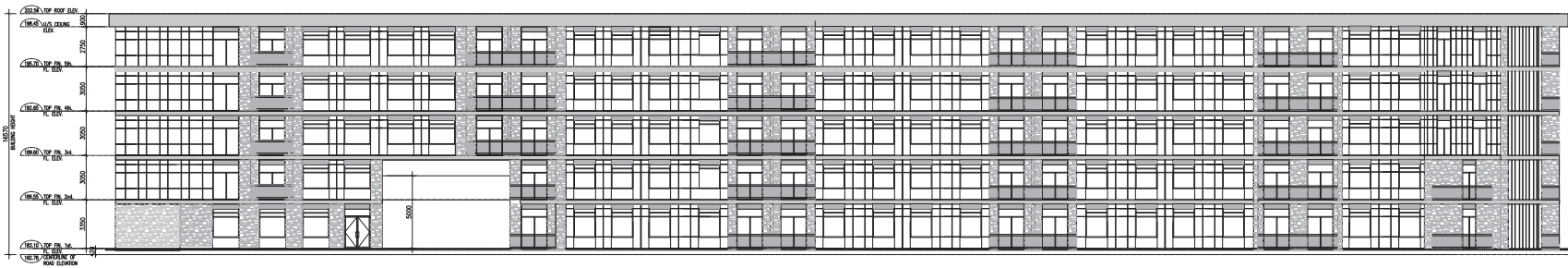
REFERENCE POINTS (ORP A AND ORP B): UTM ZONE 17, NAD83 (CSRS) (1997), DERIVED BY REAL TIME NETWORK (RTN) OBSERVATIONS USING TOPNET LIVE NETWORK BASE STATION.

1 SITE PLAN
SP-1 SCALE 1:300

SP-1A

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DRAWING NUMBER
DETAILS ARE CROSS REFERENCED BY THE ABOVE SYMBOL.
3. DRAWINGS ARE NOT TO BE SCALED. TOLERANCES MAY APPLY TO DIMENSIONS REFERRING TO EXISTING BUILDING OR SITE CONDITIONS.
4. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING AT LEAST ONE WEEK BEFORE ORDERING OR INSTALLING CONSTRUCTION MATERIALS OR MAKING ANY MATERIAL CHANGES TO THE WORK INVOLVING SUCH DISCREPANCIES, ERRORS OR OMISSIONS. UNLESS THE CONTRACTOR FAILS TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND NOT OF THE ARCHITECT UNDER ANY CIRCUMSTANCE.
5. ANY CONSTRUCTION DETAIL CHANGES, SUBSTITUTIONS OF MATERIALS OR SPECIFIED ITEMS ARE NOT ACCEPTABLE UNLESS WRITTEN APPROVAL OR REVISOR DRAWINGS INDICATING THE CHANGES HAVE BEEN OBTAINED FROM THE ARCHITECT.
6. READ ALL DRAWINGS IN CONJUNCTION WITH THE GENERAL NOTES AND SPECIFICATIONS.
7. REPORT IN WRITING ALL UNCOVERED DISCREPANCIES OR CHANGES REQUESTED BY THE AUTHORITIES, PRIOR TO CONSTRUCTION, IN WRITING TO THE ARCHITECT. PRIOR TO CONSTRUCTION, MANUFACTURING OR INSTALLATION, ANY DRAWING REVISIONS MUST BE PREPARED BY THE ARCHITECT OR OTHER CONSULTANTS AS DIRECTED BY THE ARCHITECT.
8. THIS DRAWING HAS NOT BEEN ISSUED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED HEREIN.



1 SOUTH ELEVATION
A3-01 SCALE 1:125

Architect of Record:

 **ANDRE SHERMAN ARCHITECT**
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TEL: (416) 733-9000 E-mail: info@shermanarchitect.com



Revisions:

No:	Date:	Rev:
1	03/09/20	FOR SITE PLAN APPROVAL
2	07/08/21	FOR SITE PLAN APPROVAL
3	09/06/21	REV. FFE
4	06/06/22	REV. FOR SITE PLAN APPROVAL
23	10/09/22	RE-ISSUED FOR SITE PLAN APPROVAL
24	25/11/22	RE-ISSUED FOR SITE PLAN APPROVAL

Project Name:

GEORGIAN BAY TERRACE

1 LEGION STREET, MEAFORD, ON.

Drawing Title:

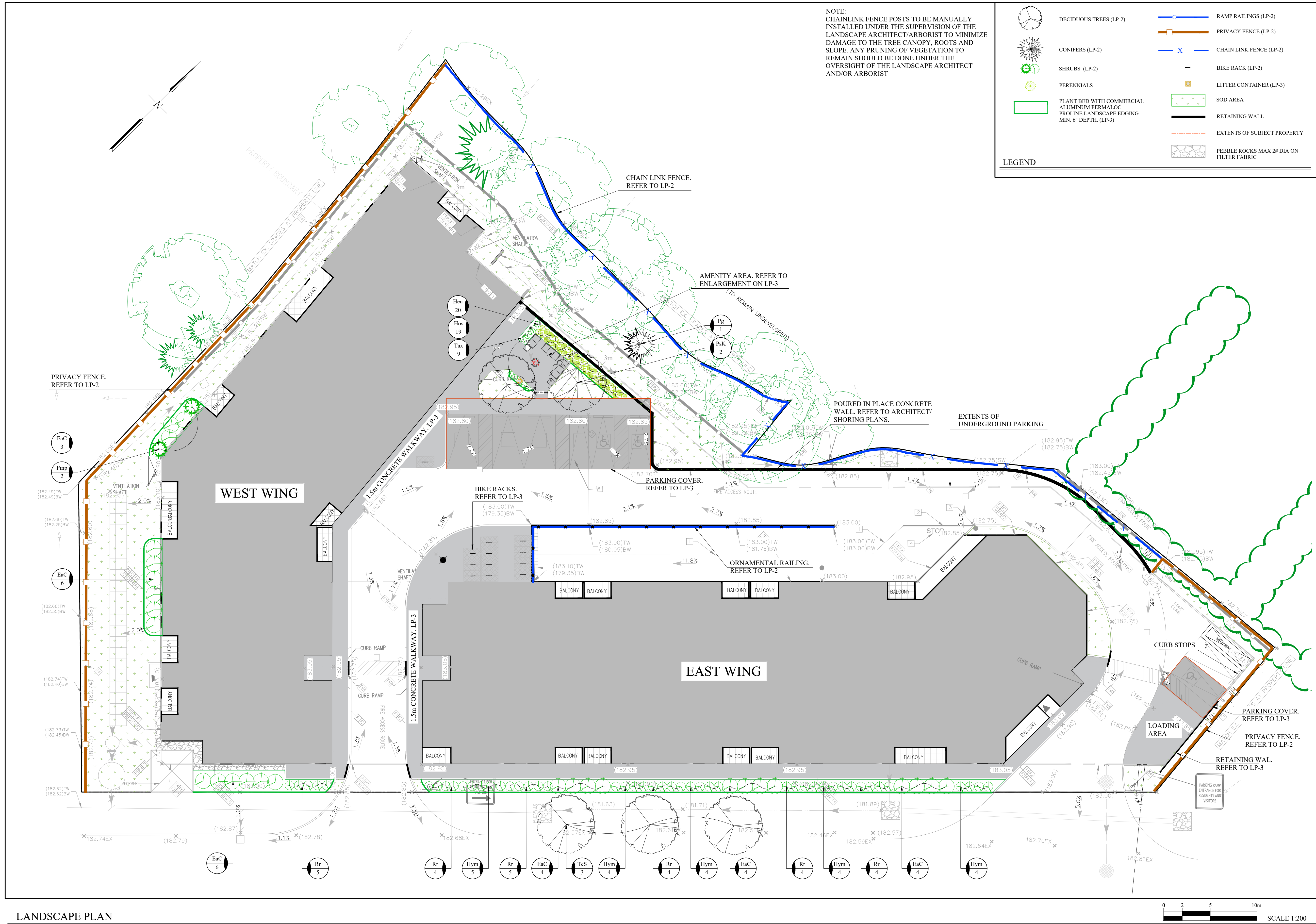
STREET ELEVATION (SOUTH)

SCALE: AS INDICATED	DATE: 19/06/20
DRAWN BY: AS	DRAWN BY:
DRAWN BY:	DRAWN BY:

A3-01

DECIDUOUS SHRUBS								
EaC	27	DWARF WINGED BURNING BUSH	Fuonymus alatus 'Compactus'	60 cm	Pot	1.60 m o/c	D-3	Full form / Container grown
Rr	26	NEARLY WILD ROSE	Rosa rugosa 'Nearly Wild'	60 cm	Pot	1.0m o/c	D-3	Full form / Container grown
Hym	21	TWIST-N-SHOUT HYDRANGEA	Hydrangea macrophylla 'Twist-n-Shout'	60 cm	Pot	1.0m o/c	D-3	Full form / Container grown
PERENNIALS								
Hos	19	RAINFOREST SURPRISE HOSTA	Hosta x 'Rainforest Surprise'	1 gal	Pot	0.6 m o/c	n/a	Full form / Container grown
Heu	20	CORAL BELLS	Heuchera macrocarpa 'Autumn Bride'	1 gal	Pot	0.6 m o/c	n/a	Full form / Container grown

REFER TO PLANTING NOTES AND DETAILS ON LP-2



CONTRACTOR IS RESPONSIBLE FOR ALL LOCATES INCLUDING ALL UNDERGROUND SERVICES PRIOR TO ANY EXCAVATION OR INSTALLATIONS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE VARIOUS UTILITY COMPANIES 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.

ANY ACCOMPANYING DOCUMENTATION RELATING TO THE LANDSCAPE PLAN AND/OR PRESERVATION PLAN SUCH AS TENDER DOCUMENTS AND CHANGE NOTICES ARE TO BE ENDORSED BY J.D.B. ASSOCIATES LIMITED PRIOR TO THE BEGINNING OF ANY SITE WORKS. IN THE EVENT THAT OF A DISCREPANCY THE DRAWING SHALL BE ASSUMED CORRECT.

IT IS THE RESPONSIBILITY OF THE PERSON OR PERSONS RESPONSIBLE FOR THE CONSTRUCTED WORKS TO NOTIFY THE LANDSCAPE ARCHITECT WHEN PREPARED FOR ANY REQUIRED INSPECTIONS AND SIGN OFFS.

SCHEDULED MEETINGS SHALL TAKE PLACE AT THE CLOSEST MUTUALLY CONVENIENT TIME.

No.	REVISION	DATE	APRVD
1.	CLIENT REVIEW	August 6, 2020	SIT
2.	SUBMISSION TO THE TOWN	Sept. 23, 2020	MC
3.	RESUBMISSION AS PER COMMENTS	May. 6, 2021	MC
4.	REVISIONS AS PER UPDATED SITE PLAN	June 9, 2021	MC
5.	REVISIONS AS PER UPDATED SITE PLAN	January 3, 2022	MC
6.	REVISIONS AS PER UPDATED SITE PLAN	January 18, 2022	MC
7.	REVISIONS AS PER COMMENTS	May 25, 2022	IT
8.	REVISIONS AS PER UPDATED SITE PLAN	November 28, 2022	SIT

BASE INFORMATION PROVIDED BY:

BASE PLAN REVISED: May 2021

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THIS DRAWING IS NOT TO BE SCALED

DATE _____

PRINT NAME _____

SIGNED OWNER/CLIENT



JDB ASSOCIATES LTD.

Urban Designers
Landscape Architect
Arborists

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Barrie, Ontario
L4N 5W4

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Tel: 705-722-627

GEORGIAN BAY TERRACE

1 LEGION STREET
MEAFORD

SCALE: 1:200	DATE: August 5, 2020	DESIGNED BY: SIT	REVIEWED BY: NB
TOWN FILE No.	OUR FILE REF. # 13-20	DRAWN BY: SIT	LP-1

